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or via phone at: **312 626 6799** with the following Meeting ID: **812 1916 6506**, password: **852023**.

Due to the current COVID-19 pandemic and Health Commissioner's Order No. 7, this meeting will be conducted electronically. In the interest of public safety, the Abrams Building at 1520 Market Street has been closed to the public. The public will be able to access and participate in the meeting following the directions posted here.

In order to ensure all Board members and the public are able to connect successfully, we recommend that you call in or join via Zoom (for video) starting at 3:45 PM to allow time to troubleshoot any connection issues. The host will open the phone lines and initiate the Zoom meeting at that time. Should you have a problem accessing the meeting, please call Daniel Krasnoff at (314) 276-5915.

- For those participating in the teleconference, in order to ensure all participants can hear the audio in the meeting, it is essential that your phone or microphone be muted when you are not speaking.
- Please follow any guidelines or rules established by the Chairman of the Preservation Board during the meeting.
- If you wish to speak for the public hearing, and you are on your computer, please list your name, and the topic you wish to address sent to everyone in the chat section of this virtual meeting. The chair will address you individually, at which time we ask that you un-mute yourself to speak. Once you are done, please state that you are finished and resume the mute functionality.
- If you wish to speak for the public hearing and you are on a phone, and not at a computer or online personal device with a screen, once all physical or virtual comment cards submitters have had their time to speak, the chair will ask if anyone on the phone has additional comments. At that time, please unmute by pressing *6 and state your first name. If more than one individual has identified themselves, the chair will ask one person to speak at a time. Each person must state very clearly, their name, affiliation (if any), and address and proceed to comment. Once you are done, please state that you are finished and resume the mute functionality by pressing *6.

People who need accommodations related to accessibility should contact Dan Krasnoff at krasnoffd@stlouis-mo.gov or by phone at (314) 276-5915 or (314) 589-6000 (TTY).

**CULTURAL RESOURCES OFFICE
 PRESERVATION BOARD
 REGULAR MEETING – ZOOM MTG.
 MONDAY JUNE 29, 2020 — 4:00 P.M.
www.stlouis-mo.gov/cultural-resources**

Approval of revised February 2020 and April 2020 minutes.

PRELIMINARY REVIEWS	Jurisdiction:	Project:	Page:
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CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
CULTURAL RESOURCES OFFICE
LYDA KREWSON, Mayor

A.

DATE: June 29, 2020
ADDRESS: 1910 Rutger Street
ITEM: Preliminary Review: Retaining Wall at Front Facade
JURISDICTION: Lafayette Square Local Historic District — Ward 6
STAFF: Andrea Gagen, Cultural Resources Office



1910 RUTGER STREET

OWNER/APPLICANT

Diversified Real Estate Group
John Muller

RECOMMENDATION:

That the Preservation Board deny preliminary approval to the proposed retaining wall as the slope of the yard is being altered and the design is not based on an appropriate Historic Model Example.



THE PROPOSAL:

The applicant proposes to construct a retaining wall at the front facade in the Lafayette Square Local Historic District. New retaining walls are reviewed per the District's standards. The proposed retaining wall does not meet the historic district standards due to the proposed change to the slope of the yard and does not have an appropriate Historic Model Example (HME). The submitted HME is not a retaining wall, but curbing that would have originally been topped by wrought iron fencing. Therefore, the project is being brought before the Preservation Board for their consideration.

RELEVANT LEGISLATION:

Excerpt from Lafayette Square Historic District Ordinance #69112:

401 SLOPE OR GRADE OF PUBLIC YARDS

The historic slope of a public yard shall not be altered unless it has at some time been altered and is to be restored to its original configuration. A new retaining wall that complies with an HME may be installed. What appears to be a retaining wall or a freestanding wall based on a HME may be used in conjunction with the installation of an accessibility ramp in order to integrate the ramp into historic components of the district's public area landscape.

Does not comply. The historic slope of the yard is being altered.

402 WALLS

402.2 Retaining Walls

- A] New and reconstructed retaining walls shall be based on an HME.
- B] The exposed side of a retaining wall shall be vertical and may be concrete with the visual qualities of true stone. An HME is required.
- C] The top of the retaining wall shall be horizontal and shall extend a maximum of 8 inches above the high point of the grade retained.
- D] The following types of retaining wall materials are prohibited at Public Yards:
 - 1) Railroad ties
 - 2) Landscape timbers
 - 3) Concrete block of any kind
 - 4) Cast-in-place or precast concrete unless faced with a stone veneer
 - 5) Stucco that does not simulate cut stone.

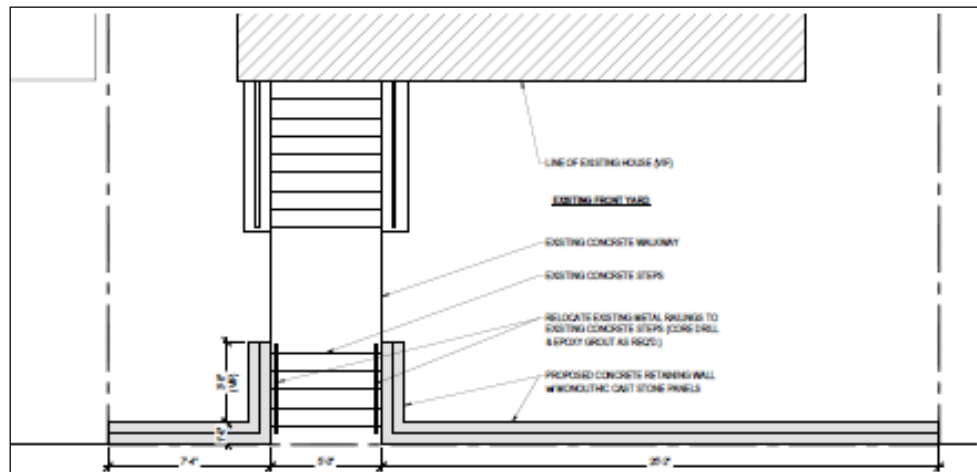
Partially complies. While the material of the wall simulates cut stone, the proposed wall is considerably taller than the submitted HME, which is curbing, not a retaining wall. The submitted curbing at 18th & LaSalle is not an appropriate HME.

PRELIMINARY FINDINGS AND CONCLUSION:

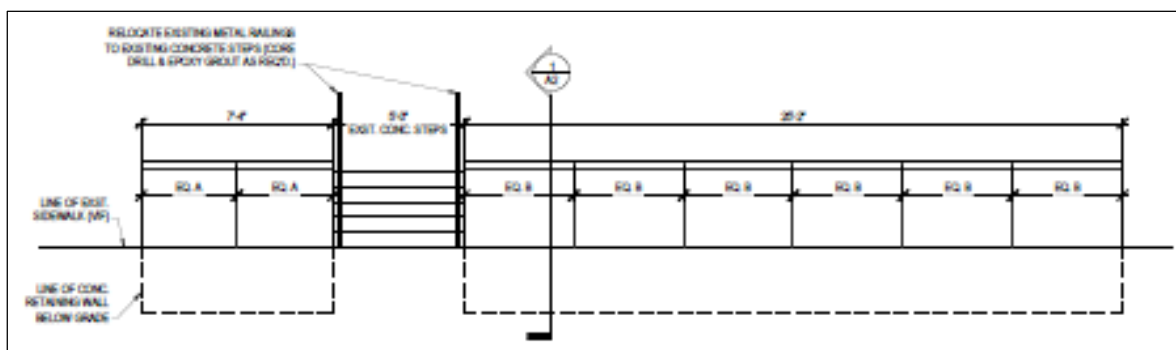
The Cultural Resources Office consideration of the criteria for new residential construction in the Lafayette Square Historic District Standards led to these preliminary findings:

- The proposed site for the retaining wall, 1910 Rutger Street, is located in the Lafayette Square Local Historic District.
- The proposed retaining wall will alter the historic slope of the yard.
- The proposed retaining wall is not based on an appropriate HME, as what was submitted is not a retaining wall.
- Although the material of the wall may meet the historic district standards, the height and design of the wall do not.

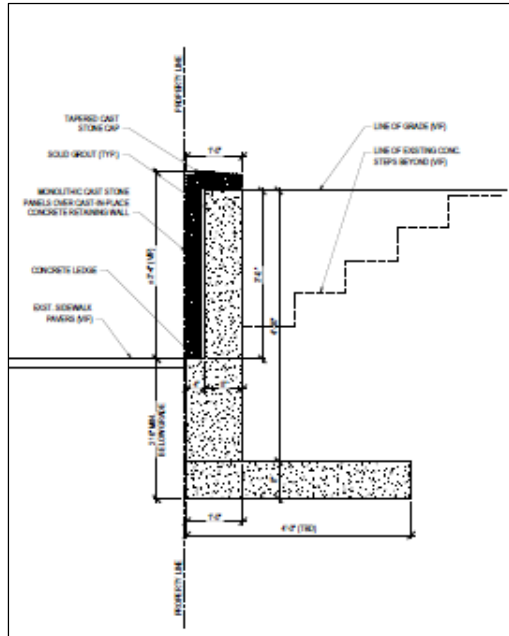
Based on the Preliminary findings, the Cultural Resources Office recommends that the Preservation Board deny preliminary approval to the design as currently presented as it does not comply with the Lafayette Square Historic District Standards.



PLAN VIEW OF PROPOSED RETAINING WALL



ELEVATION OF PROPOSED RETAINING WALL



SECTION OF PROPOSED RETAINING WALL



SUBMITTED HME AT 18th & LASALLE



FRONT YARD AT 1910 RUTGER ST.



CLOSE-UP OF FRONT SLOPE



SAMPLE OF CULTURED STONE – 4' WIDE PANELS FOR WALL



B.

DATE: June 29, 2020
ADDRESS: 1116 Missouri Avenue
ITEM: Preliminary Review: Construction of a 5-story apartment building.
JURISDICTION: Lafayette Square Local Historic District — Ward 6
STAFF: Jan Cameron, Cultural Resources Office



GENERAL LOCATION OF 1116 MISSOURI AVENUE LOOKING EAST FROM MISSOURI AVENUE AT LASALLE STREET

OWNER:

LaSalle Street Partners, LLC
William Odell

APPLICANT:

Cornerstone Development
Sam Chimento

ARCHITECT:

HOK Architects
Bob Powers

RECOMMENDATION:

That the Preservation Board grant preliminary approval to the proposed development with the condition that final plans, details and exterior materials are reviewed and approved by the Cultural Resources Office staff.



THE PROPOSAL:

The Cultural Resources Office/Preservation Board has jurisdiction over new construction within the boundaries of the Lafayette Square Local Historic District. The Cultural Resources Office has received a Preliminary Review Application for a five-story apartment building with two levels of interior parking, part of the proposed Chouteau Avenue Corridor Redevelopment project in the district's Northwest Quadrant. As part of the project, LaSalle Street will be reintroduced between Missouri and Mackay Place. (The Board granted preliminary approval to another element of the project's master plan: townhouse units at 2201-45 Hickory Street.)

1116 Missouri Avenue is in an area identified as "Residential, Commercial & Mixed-Use New Construction on Large Sites" in the Lafayette Square New Construction Standards. The property is part of the old Praxair site and will have very little historic context.

RELEVANT LEGISLATION:

Excerpt from Lafayette Square Historic District Ordinance #69112:

306 RESIDENTIAL, COMMERCIAL & MIXED-USE NEW CONSTRUCTION ON LARGE SITES

Comment: The northwest corner of the historic district, in the vicinity of Jefferson, Chouteau, LaSalle and Missouri avenues is characterized by large parcels of land that are mostly devoid of the distinctive building types that give Lafayette Square such a unique identity. This situation provides an opportunity for significant new development. The neighborhood plan calls for these areas to include a mix of land uses that can provide a broader range of services and activities not found in the rest of the district. This opportunity requires flexible standards to accommodate contemporary design and transportation, while ensuring that the new development blends appropriately with the adjacent neighborhood.

306.1 New Development Guidelines

- A] Buildings are to be sufficiently similar to nearby existing ones within the district in aspects of size, scale, height, location on the lot, materials or color to the general content of Lafayette Square to convey a design relationship.

There are no historic properties directly adjacent to the proposed construction. On the east, the building will be opposite three historic properties on Mackay Place. Its west elevation on east side of Missouri Avenue will be across the street from a small historic stone house; but a five-story apartment building, of modern design, is proposed to be constructed next to the stone building, on the west side of Missouri. (It received Preliminary Approval by the Board in 2019.)

- B] The development of new mixed-use construction on large, undeveloped sites without adjacent historic buildings must be appropriate in scale, materials and details to provide compatibility with the district. A new development site should be an expression of the contemporary design and construction, but have a discernable compatibility with forms and patterns of buildings in the district. No historic model example is needed.

Complies. While of far larger scale and contemporary in design, the proposed building respects historic precedent in the use of a tripartite design with a stone-

like foundation; red brick body; and a differentiated upper story. The fenestration also is based upon traditional window patterns.

- C] For larger development sites where no historic buildings will be adjacent to the new ones, buildings that are generally compatible with, and use the prominent building materials found in the district, have more latitude in design.

Complies. The primary exterior material on all four elevations is red brick.

306.2 Massing and Size Recommendations

- A] Atypical massing is not desired.

Complies.

- B] The height of buildings is not regulated except where backing against infill construction, where height is limited to three stories. Perceived height of new undeveloped site construction is recommended to be no more than four stories.

Partly complies. The building will not be directly adjacent to historic structures although its side elevations will face smaller-scale residential buildings on Missouri and Mackay. Although five stories, the upper story is set back slightly from the plane of the façade and references the mansard roofs of the District. Due to the grade of the site, the building at its eastern end will be approximately five and one-half stories.

306.3 Building Materials and Color

- A] Similar building materials used within the Historic District shall be acceptable, such as red brick, stone or cementitious stucco veneers detailed to appear as stone, and wood. Metal veneers, cement-board, plastics and large expanses of glass should be used in moderation and as trim, but are prohibited as a primary building material

Complies. Cement panels proposed for the upper story and recessed central bay are a small percentage of the exterior which is primarily brick. There are no large expanses of glass and the fenestration respects historic precedent.

- B] Paint is permitted on all surfaces except brick, which is to be left in natural color.

Not Applicable.

306.4 Setback

- A] New construction shall face streets fronts. (Alleys are not considered streets)

Complies.

- B] There shall be a generally consistent setback of 15 feet from the property line unless unusual conditions occur.

Complies.

- C] Site plans that introduce suburban forms of development including, but not limited to:

- 1) New streets forming cul-de-sacs
- 2) Buildings facing cul-de-sacs
- 3) Curving Streets

are prohibited and shall not be permitted in the district.

Complies with these requirements. While Mackay Place (currently fenced off from Chouteau) will be upgraded to a landscaped cul-de-sac, all buildings in the development will face streets.

- B] Paint is permitted on all surfaces except brick, which is to be left in natural color.

Not Applicable.

D] Front garages and front facing driveways are prohibited and shall not be permitted in the district.

Does not comply. The design proposes four vehicle entry doors off a new extension to LaSalle Street. The design of these entries has been upgraded to blend more appropriately with the design of the building.

E] New curb cuts will be considered.

Curb cuts will be required on LaSalle Street.

F] Any unscreened parking lot facing a street shall be prohibited.

Not applicable.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office consideration of the criteria for new residential construction in the Lafayette Square Historic District Standards led to these preliminary findings:

- The proposed site for construction, 1116 Missouri Avenue, is located in the Lafayette Square Local Historic District and in an area designated in the Standards as “Residential, Commercial & Mixed-Use New Construction on Large Site.”
- The building is in the center of a large vacant site with very little historic context. The building will front on LaSalle Street and new construction is proposed to surround it on the other three sides.
- The design complies with all requirements of the Standards for Large Sites, apart from four garage entry doors on the LaSalle elevation. These have been articulated to present an appearance more appropriate for a primary façade.

Based on the Preliminary findings, the Cultural Resources Office recommends that the Preservation Board grant preliminary approval to the design as currently presented with the condition that final design details and exterior materials are reviewed and approved by the Cultural Resources Office staff.



PROJECT MASTER PLAN – PROPOSED BUILDING OUTLINED



LASALLE STREET FACADE



MISSOURI ELEVATION (STONE HOUSE TO LEFT)



MACKAY PLACE ELEVATION



PERSPECTIVE RENDERING OF MAIN ENTRY ON LASALLE LOOKING NORTHWEST



DETAIL OF GARAGE ENTRIES



C.

DATE: June 29, 2020
ADDRESS: #9 Benton Place
ITEM: Appeal of the Director's Denial to Construct Enclosed Side Porch Addition
JURISDICTION: Lafayette Square Local Historic District — Ward 7
STAFF: Andrea Gagen, Preservation Planner, Cultural Resources Office



9 BENTON PL.

OWNERS:

Thomas Schmidt & Genevieve Cortinovis

APPLICANT:

Thomas Schmidt

RECOMMENDATION:

That the Preservation Board overturn the Director's denial of the addition, as it has been revised to substantially comply with the Lafayette Square Historic District Standards, and with the stipulation that the details be approved by the Cultural Resources Office staff.



THE CURRENT WORK:

The project site is located in the Lafayette Square Local Historic District where the Cultural Resources Office/Preservation Board has jurisdiction over exterior alterations to buildings and parcels. The applicant proposes to replace an open side porch with a new enclosed addition. The original design did not meet the Lafayette Square Historic District standards, and was denied. The applicant has appealed the denial. The owner has worked with the Cultural Resources Office, and is now basing the design of the addition on an oriole window at the rear of the building.

RELEVANT LEGISLATION:

Excerpt from Ordinance #69112, Lafayette Square Local Historic District:

ARTICLE 3: NEW CONSTRUCTION AND ADDITIONS TO HISTORIC BUILDINGS

301 ADDITIONS TO HISTORIC RESIDENTIAL PROPERTIES

301.1 Additions shall be compatible in all of the following:

- A] Massing and scale;
- B] Proportions;
- C] Solid to void ratio;
- D] Exterior materials;
- E] Color to the existing residential building, and
- F] Appear as a secondary portion to the main block of the building.

301.2 The existing building serves as an HME unless another property with an historic secondary rear wing is the model. In addition, all of the following requirements shall be met.

- A] No new additions shall be made extending from the primary public façade of buildings, except appendages, as described in 206.1(C)(3).
- B] Additions must be set back 15 feet back from the primary public facade and extend from a secondary façade. Additions will have the massing and scale that keeps them secondary to the main residential structure. The design of additions will not give the appearance that the new portion was part of the original building be exactly replicating it, but will be compatible.
- C] Additions may extend from a rear façade; they must be set back at least 1 foot from the secondary street façade or be the same width of an existing narrow rear wing.
- D] The requirements for building materials, windows, other features, and roofs in Sections 303.5 to 303.9 apply to additions at secondary and rear façades.

Complies with all requirements.

303.5 Exterior Materials and Color

- A] Exposed foundations must be scored or cast to simulate load-bearing masonry mortar joints, or be faced with stone laid in a load-bearing pattern.

Does not comply, however, a significant amount of the foundation of the porch is below grade and not visible from the street. The foundation is proposed to be poured concrete sheathed with Miratec exterior panels, and the open utility area east of the basement door will be covered in lattice

- B] As in the HME, there shall be a differentiation in all façades near the level of the first floor that defines the foundation as a base. The wall materials and /or the detailing at the base shall be distinct from that of the rest of that façade.

Complies.

- C] The exterior wall materials of HMEs are a combination of stone and brick or all brick. Typically the primary façade material is different from the single material used for the side and rear walls.

Does not comply. The primary elevation of the sunroom addition is of Miratec panels, as is the side and rear elevations. The addition's design is intended to appear as a porch and not an addition to the historic house.

- D] The materials of the primary façade of new construction shall replicate the stone or brick of the HME.

- 1) A stone façade shall use the stone of the HME. It shall have smoothly dressed stone cut into blocks with the same proportion as that of the HME, be laid with the same pattern, and have the same dimension of mortar joints. The stone façade shall have the same depth of return on the secondary façades as the HME.

Not applicable.

- 2) The use of scored stucco and cementitious materials to replicate the stone of the façade of the HME is permitted. As for stone façades, the return at the secondary façades shall replicate that of the HME.

- (a) Brick shall replicate that of the HME as a pressed face brick with a smooth finish and a dark red color with only minor variations in color. Brick shall have these dimensions, 2 2/3" x 8" x 4", or be based on an HME. No brick façade will display re-used brick of varying colors and shades.

- (b) Brick will be laid as in the HME, generally in a running bond, and its mortar joints will replicate, by type of façade, that of the HME in color, or be dark red or gray.

- (c) Ornamental brick, stone or replica stone lintels, cornices, sills and decorative bands or panels shall be based on the HME. Window sills on brick primary façades shall be stone or pre-cast replica stone, based on the HME.

Does not comply. The materials of the primary façade of the addition do not replicate the stone front of the existing building. The addition is meant to appear as the side porch it replaces.

- E] The HME shall determine the choice of the material used on the secondary and rear façades of a new residential building. Typically, common brick side and rear walls were combined with a face brick or stone street façade. Materials permitted for use on secondary and rear façades, therefore, shall be brick of suitable color, texture, and bond, and be pointed with mortar appropriate in color, texture and joint profile.

Does not comply. The walls will be frame, sheathed in Miratec panels.

- F] Siding of vinyl, aluminum, fiber cement, or wood of any type, style, or color is prohibited on any façade because of the requirement for an HME for new residential construction.

Does not comply. The walls are proposed to be covered in simulated wood panels.

- G] The materials identified above may be combined with modern construction techniques in the following ways:
- 1) The appearance of stone on a raised foundation may be created using stone veneer, parging with joint lines to replicate a load-bearing masonry pattern, or poured concrete that has the pattern of load-bearing masonry.
 - 2) Brick, stone, and stucco scored to appear as stone may be installed as a veneer on exterior walls.

Not applicable.

303.6 Windows

- A] Windows in the HME and their sash will be the model for windows in new residential construction. The size and location of window openings in the HME will be replicated on the primary façade.
- B] The profiles of the window framing elements – i.e. frames, sills, heads, jambs, and brick molds – will match the dimensions and positions of those in the HME.
- C] Window Sash
- 1) Window sash shall match that of the HME in terms of operation, configuration (number of lights), and dimensions of all elements. The method of a window's operation may be modified on the interior in a way that does not change the exterior appearance and provides for accessibility.

Complies with these requirements.

D] Materials

- 1) Wood windows manufactured to match the characteristics of the HME are preferred on the primary façade. Any window sash that must be replaced in non-historic residential buildings constructed under these standards, or previous ones, shall meet these standards.
- 2) Factory-painted, metal clad wood and composite or fiberglass windows are acceptable for the primary façade if they meet the above requirements and are acceptable for secondary and rear façades.

Complies.

- 3) Vinyl sash is prohibited.
- 4) All glazing will be non-reflective glass.
- 5) Windows may have double-glazed, low-solar-gain, Low-E glazing sash; tinted Low-E glazing is not permitted.

Complies, the windows will be Marvin Single-Hung Clad Wood windows.

- F] Windows in secondary and rear façades that do not face the street should have the proportions and size based on the HME. The operation of the window sash and material is not regulated, other than not being vinyl.

Complies.

- G] Bathroom windows in private secondary and rear façades may have frosted glass. Historical examples include glue chip and machine textured glass.
- H] Storm Windows and screens, as on historic buildings, are allowed on the interior of primary public façade windows and on the exterior and interior of other façade windows. Other stipulations in Sections 203.1(D) and 203.2(D) apply here as well.

303.7 Doors

A] Doors on the primary and secondary street façades must be based on the HME and meet these requirements:

- 1) Be a minimum of 7 feet in height.
- 2) If the front entry door of the HME is set back from the façade, new construction must replicate this condition and replicate any panel reveals of the HME.
- 3) All entry doors on street façades must have a transom, transom bar and transom sash, based on the HME.
- 4) Slight modifications to the entrance design of the HME may be acceptable to provide 32-inch-wide openings, flush thresholds, and the use of swing clear hinges.

Not applicable. Entry doors to the addition are mostly below grade and will not be visible from the street.

B] Clear and non-reflective glazing shall be used in street façade doors and transom sash.

Not applicable.

C] Accessibility to residential buildings is encouraged and can be obtained through the selection of an HME, entrance design, the placement of actual floor levels, and other design choices.

Not applicable.

303.8 Cornices

A] The design of a primary façade cornice and all its elements shall be based on the HME. In the event that the measurements of the HME are not readily attainable, the following will be used:

- 1) Crown molding if used must be a minimum of 5-¼" in height.
- 2) Dentil molding, if used must be a minimum of four inches (4") in height.
- 3) Decorative panels or other moldings may be used between brackets or corbels only to replicate the selected HME.

Complies; the cornice design is based on the cornice of an oriole window at the rear of the building.

B] The space between brackets or corbels, and their height and proportions, shall replicate that of the HME.

Not applicable.

303.9 Roofs

A] The form of the roof must replicate the HME.

Complies; the flat roof follows that of the existing building.

B] Visible roof planes shall not be uninterrupted with openings such as individual skylights, vents, pipes, mechanical units, solar panels, etc.

Complies.

C] Roofing Materials

- 1) Visible roofing material shall be limited to the following:
 - (a) Slate,
 - (b) Synthetic slate where slate is used on the HME,

- (c) Asphalt or fiberglass shingles, standard three tab design of 23 pounds per square minimum construction,
- (d) Standing seam, copper or refinished sheet metal roofing only as gutters and ridges; all metal roofs are not allowed,
- (e) Plate or structural glass on an appendage.
- 2) Visible roofing material not permitted includes the following:
 - (a) Wood shingles, or composition shingles resembling wood shingles or shakes
 - (b) Roll roofing or roofing felts
 - (c) Metal roofing
 - (d) Vinyl or other polymeric roofing

Not applicable.

D] Gutters and Downspouts

- 1) Gutters on the primary public façade must be incorporated into a cornice design based on an HME to the extent that the gutter is not visible as a separate element. No gutters can be placed across the primary public façade as individual elements. Gutters and downspouts shall be of one of the following materials:
 - (a) Copper; painted or allowed to oxidize.
 - (b) Galvanized metal, painted.
 - (c) Aluminum; finished as a non-reflective factory-finish

Complies, gutters and downspouts will be copper.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office's consideration of the Lafayette Square Local Historic District standards and the specific criteria for fences led to these preliminary findings.

- 9 Benton Place is located in the Lafayette Square Local Historic District.
- Although the proposed addition does not comply with the Exterior Materials and Color section of the Lafayette Square Standards, there was an existing porch at this location and the Cultural Resources Office believes that a frame addition resembling an enclosed porch is appropriate at this location.
- The Standards require that the Exterior Materials reflect those of the HME, which in this case is an oriole window on the rear elevation of existing house. Although the addition is not brick as required by the Standards, its design is based on the detailing of that window.
- The details of the cornice are similar to the existing oriole window, but the base trim should be revised to match the window detailing more closely. The owner has agreed to this change.

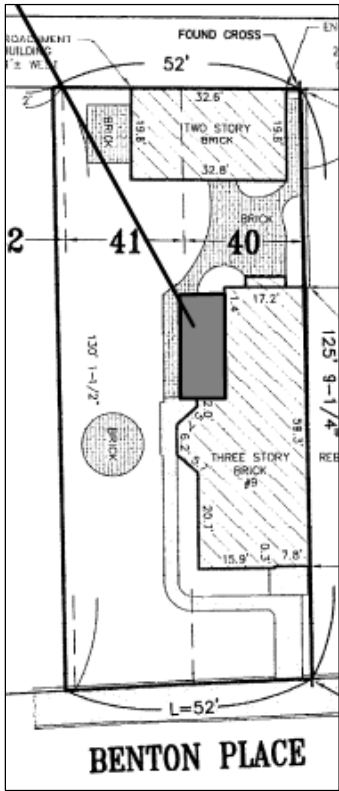
Based on these preliminary findings, the Cultural Resources Office recommends that the Preservation Board overturn the Director's denial of the application as substantially meets the Lafayette Square Local Historic District Standards, with the stipulation that the details be approved by the Cultural Resources Office staff.



LOOKING TOWARDS CURRENT SCREENED PORCH ON SOUTH ELEVATION



CLOSER VIEW OF EXISTING PORCH



SITE PLAN



PROPOSED SOUTH ELEVATION OF ADDITION



REAR ELEVATION OF PROPOSED ADDITION SHOWING EXISTING ORIOLE WINDOW



D.

DATE: June 29, 2020
ADDRESS: 6152 Washington Boulevard
ITEM: Appeal of the Director's Denial to Replace Slate roof with GAF Slateline
JURISDICTION: Skinker-DeBaliviere-Catlin Tract-Parkview Local Historic District — Ward 28
STAFF: Bethany Moore, Cultural Resources Office



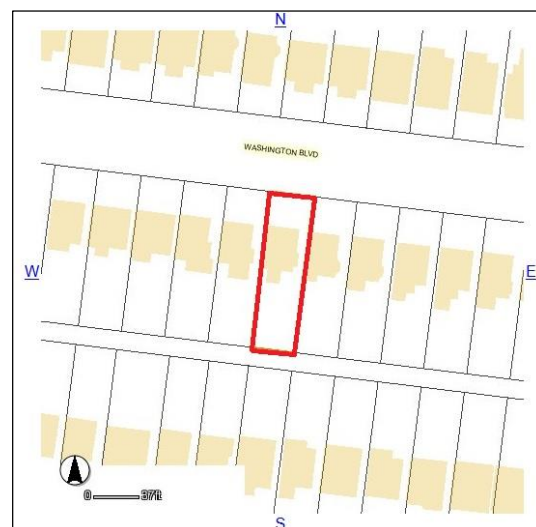
6152 WASHINGTON BOULEVARD

OWNERS & APPLICANTS:

Cameron and Rebecca Ayers

RECOMMENDATION:

That the Preservation Board uphold the Director's Denial of the application to replace the existing slate roof with GAF Slateline architectural shingles, as it does not meet the requirements of the Skinker-DeBaliviere-Catlin Tract-Parkview Local Historic District Standards.



THE CURRENT WORK:

6152 Washington Boulevard is located in the Skinker-DeBaliviere-Catlin Tract Parkview Local Historic District where the Cultural Resources Office/Preservation Board has jurisdiction over alterations to buildings and sites. The Cultural Resources Office received an application for a permit to replace an existing slate roof with GAF Slateline shingles. Per the Standards, if a roof retains the original slate, the replacement roofing must be either slate or an approved replica material. GAF Slateline is not an approved replica material. The applicants have appealed the Director's Denial of the application based upon economic hardship.

RELEVANT LEGISLATION:

Excerpt from Ordinance #57688, Skinker-DeBaliviere-Catlin Tract Parkview Local Historic District:

6. Roofs and Roofing

- a. The replacement of a flat roof is general maintenance and does not require a permit except as provided in City Building Codes. Any repair or reconstruction of parapets requires a permit.

Not applicable.

- b. Roof forms, including the roof's location, slope, height and shape; and dormer configurations, including the number, location, size, height, shape and materials, shall not be altered except as provided herein. Dormers may be altered or added only in Minimally Visible or Not Visible locations.

Not applicable.

- c. On sloped roofs where historic roof material exists, that material or an approved replica material shall be used to replace it.

Does not comply. The historic roofing material is extant and is slate. GAF Slateline is not an approved replica for slate: a synthetic slate would fulfill this requirement.

- d. On sloped roofs, if the historic material is not known, any type of shingle of a medium gray color may be used. However, slate, or synthetic slate is the preferred alternative.

Not applicable. The historic material is known and present.

- e. Special roofing materials, such as patterned slate or clay tile, shall be retained and repaired, or replicated in material and color.

Not applicable. The existing slate is not patterned.

- f. Dormer wall materials shall replicate the historic material or, above the height of the second story, be a material that appears to be wood clapboard siding with a four-inch reveal. Dormers that historically had shingled walls may be covered with artificial shingles.

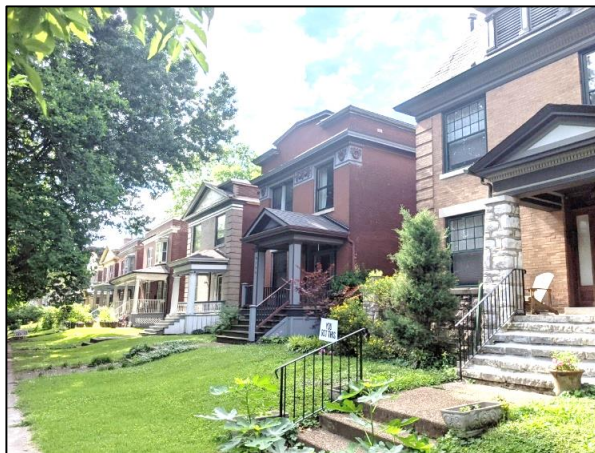
Does not comply. GAF Slateline does not replicate the historic material.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office's consideration of the Skinker-DeBaliviere-Catlin Tract Parkview Local Historic District Standards and the specific criteria for Roofs led to these preliminary findings.

- 6152 Washington Boulevard is located in the Skinker-DeBaliviere-Catlin Tract Parkview Local Historic District.
- The Skinker-DeBaliviere-Catlin Tract Parkview standards specify criteria for roof replacement in the historic district.
- The current roofing material for 6152 Washington Boulevard is the original slate shingles
- The applicant proposes replacing the slate with GAF Slateline architectural shingles, which is not an approved replica material for slate and does not meet the criteria for Roofs outlined in the Skinker-DeBaliviere-Catlin Tract Parkview Local Historic District Standards.

Based on these preliminary findings, the Cultural Resources Office recommends that the Preservation Board uphold the Director's Denial to replace the slate roofing material with GAF Slateline as it is not an approved replica material per the Historic District Standards.



LOOKING EAST ALONG WASHINGTON BOULEVARD.



CONTEXT OPPOSITE



E.

DATE: June 29, 2020
ADDRESS: 3919 Laclede Avenue — Ward: 17
ITEM: Nomination to the National Register of the Metropolitan Police Garage
STAFF: Andrea Gagen, Cultural Resources Office

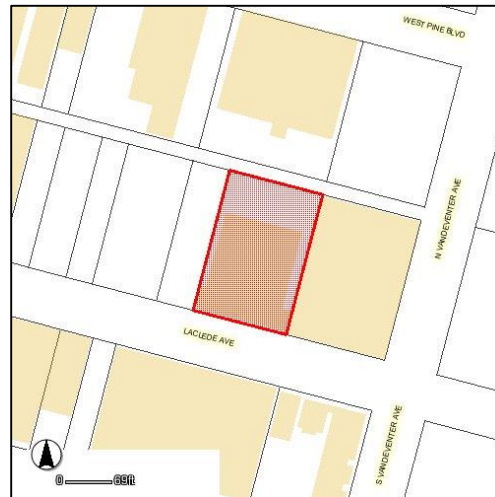


METROPOLITAN POLICE GARAGE

PREPARER:
Michael Allen
Preservation Research Office

OWNER:
City of St. Louis

RECOMMENDATION:
The Preservation Board should direct the staff to prepare a report for the State Historic Preservation Office that the property meets the requirements of National Register Criteria A for Community Planning and Development.



RELEVANT LEGISLATION:

Section 101(c)(2)(A) of the National Historic Preservation Act of 1996 (amended)

Before a property within the jurisdiction of the certified local government may be considered by the State to be nominated to the Secretary for inclusion on the National Register, the State Historic Preservation Officer shall notify the owner, the applicable chief local elected official and the local historic preservation commission. The commission, after reasonable opportunity for public comment, shall prepare a report as to whether or not such property, in its opinion, meets the criteria of the National Register.

PROPERTY SUMMARY:

The Metropolitan Police Garage, located at 3919 Laclede Avenue, was designed by well-known local architect Henry G. Clymer, and completed in 1925. The reinforced concrete building is clad in brick, with Beaux Arts limestone and terra cotta detailing on the front façade. The building represented a necessary step in the shift of the police department from foot patrols to an automobile-based department. The modernization of these policing practices required a modern service and storage building. The Metropolitan Police Garage served this purpose.

The building is being listed under Criterion A in the area of Law, with its dates of significance being 1925-54, when a second garage went into use. The associated level of significance is Local.

The Cultural Resources Offices believes that this property is eligible for listing in the National Register.



F.

DATE: June 29, 2020
ADDRESS: 3868-74 Washington Boulevard — Ward: 19
ITEM: Nomination to the National Register of the Hoffman Magneto Company & Garage Building
STAFF: Bethany Moore, Cultural Resources Office



HOFFMAN MAGNETO COMPANY AND GARAGE

PREPARER:

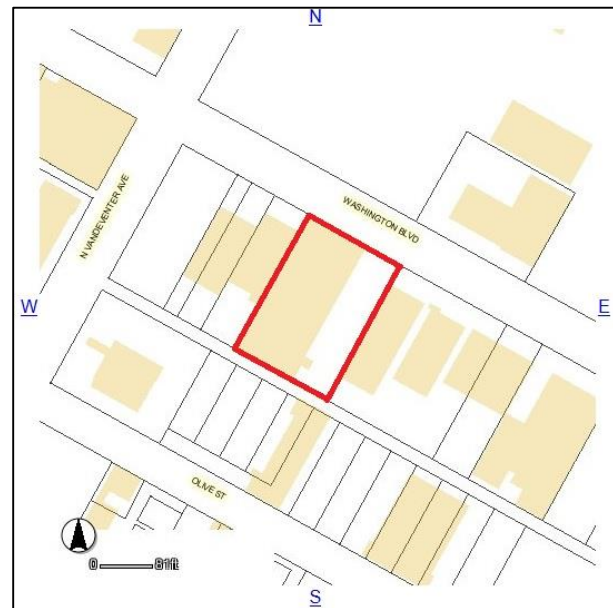
Lafser and Associates, Inc.
Matt Bivens

OWNER:

Stephen and Amy Levin

RECOMMENDATION:

The Preservation Board should direct the staff to prepare a report for the State Historic Preservation Office that the property meets the requirements of National Register Criteria A for Commerce.



RELEVANT LEGISLATION:

Section 101(c)(2)(A) of the National Historic Preservation Act of 1996 (amended)

Before a property within the jurisdiction of the certified local government may be considered by the State to be nominated to the Secretary for inclusion on the National Register, the State Historic Preservation Officer shall notify the owner, the applicable chief local elected official and the local historic preservation commission. The commission, after reasonable opportunity for public comment, shall prepare a report as to whether or not such property, in its opinion, meets the criteria of the National Register.

PROPERTY SUMMARY:

The Hoffman Magneto Company and Garage, also known as the Nash Motor Company, located at 3868-74 Washington Boulevard, was designed in the Mission Revival Style and completed in 1922. It fulfills the registration requirements for listing in the National Register of the MPDF "Historic Auto-Related Resources of St. Louis," within the historic context of "Marketing & Servicing the Automobile in St. Louis, 1900-1955."

The one-story building is structurally steel and masonry with variegated red and brown brick exterior. The front facade features a central entry bay flanked by wide shop windows, and crowned with a shaped parapet with white terra cotta coping. The brick is accented by white limestone sills with beveled edges and chamfered corners. The building served as an automobile service & supply shop, parking garage, and dealership for over two decades during the "golden age" of the automobile industry in St. Louis. The building's proximity to Automobile Row, the Central West End, Midtown and the Downtown commercial district was responsible for the success of the automobile related business housed there.

The building is being listed under Criterion A in the area of Commerce, due to its ties to the history and development of the automobile industry in the city of St. Louis, with a period of significance from 1921, when the building was constructed, to 1940, when the last automobile related business was conducted there. The associated level of significance is Local.

The Cultural Resources Offices believes that this property is eligible for listing in the National Register.